

8 Cornwallis Drive Shifnal TF11 8UB

A Fabulous Semi Detached well maintained Bungalow with the benefit of **NO UPWARD CHAIN**. This delightful property sits within the established popular Admirals Farm development on the rural outskirts of historic Shifnal, a popular Shropshire town with a great choice of shops, restaurants, bars, cafes and further amenities along with medical and dental practices. The bungalow is impeccable and well laid out with rooms flowing through from an entrance hall beginning with a most attractively appointed recently refitted Wet Room serving the exquisite two double bedrooms adorned with fitted furniture giving plenty of storage. Furthermore there's a spacious Lounge/Dining Room complete with an elegant fireplace and the modern Kitchen is sure to impress having access into the Conservatory enjoying an outlook over the garden and providing another living space. For those enjoying travel to visit family and friends, Shifnal is ideally located with the M54 being easily accessible via Junctions 3 and 4 along with rail services running from the town to Shrewsbury, Birmingham and beyond to London Euston.

ACCESS From the tarmacadum driveway alongside the property giving access to the garage, an open Entrance Porch with lighting and a part glazed Entrance Door gives access into the property.

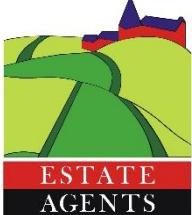
Overview

- A Most Appealing and Well Maintained Semi Detached Bungalow with Driveway Parking and Garage
- Within easy reach of local shops, further amenities, a post office as well as medical and dental practices
- Beautifully appointed recently installed wet room and a modern kitchen giving access into a conservatory
- Two double bedrooms served by the wet room
- Worcester Combi Gas Central heating boiler replaced a year ago.

ACCOMMODATION ENTRANCE HALL Having a ceiling light, access hatch to a loft with lighting and ladder, radiator, door to airing cupboard having a radiator within and doors to **WET ROOM** Recently renovated having a privacy window, attractively tiled walls and wet room flooring, shower curtain rail, electric shower, a wall mounted cupboard, heated towel rail, pedestal hand wash basin and W.C. **BEDROOM ONE** Overlooking the frontal aspect and having carpet, radiator, ceiling light, fitted overbed cubboards, wardrobes and bedside tables. **BEDROOM TWO** Also having a frontal aspect and having carpet, radiator, ceiling light and a selection of furniture comprising of chest of drawers, bedside cupboards, and mirrored unit. **LOUNGE/DINING ROOM** French doors open on to the garden, flooring is laid to carpet, three wall lights and two ceiling lights provide ample illumination, a radiator gives warmth as well as a cosy coal effect electric fire set within an elegant fireplace and there's a glazed panelled door opening to the modern eye catching **KITCHEN** Having ceramic tiled flooring, radiator, ceiling light, modern white metro tiled walls and an array of cupboards, a stainless steel sink and drainer, four ring gas hob with stainless steel chimney extractor over and a double electric oven with grill. There's also space and plumbing for a washing machine along with space for a fridge. Glazing overlooks the garden and a door opens to the **CONSERVATORY** Of UPVC construction and having the benefit of window blinds giving privacy, a door leads into the garden, flooring is laid to ceramic tiles, there's wall lighting, a power socket and a further door to **GARAGE** - With an up and over door, power, lighting and there's lots of space for extra storage or white goods. Also a wall mounted Worcs gas Combi central heating boiler replaced only 12 months ago is housed within the garage.

REAR GARDEN Screened with fence panelling and enjoying well stocked flower beds bordering a central lawn. A paved patio having a cold water tap offers an area for dining and there's also a timber garden shed providing a storage facility. A garden gate also opens to a paved side access running along to the front of the property. **DIRECTIONS:** From Broadway in Shifnal which becomes High Street, proceed north into Newport Road (B4379). On the outer edge of the town turn right into Drayton Road, carry on to the end of the road before bearing right into Cornwallis Drive where the property sits on the left side of the road identified by our For Sale Board. **SHROPSHIRE COUNCIL TAX BAND:** C **EPC RATING:** C **SAT NAV POST CODE:** TF11 8UB







Selling your home?

If you are considering selling your home please contact us today for your no obligation free market appraisal.

Our dedicated and friendly team will assist you. Get in touch today!

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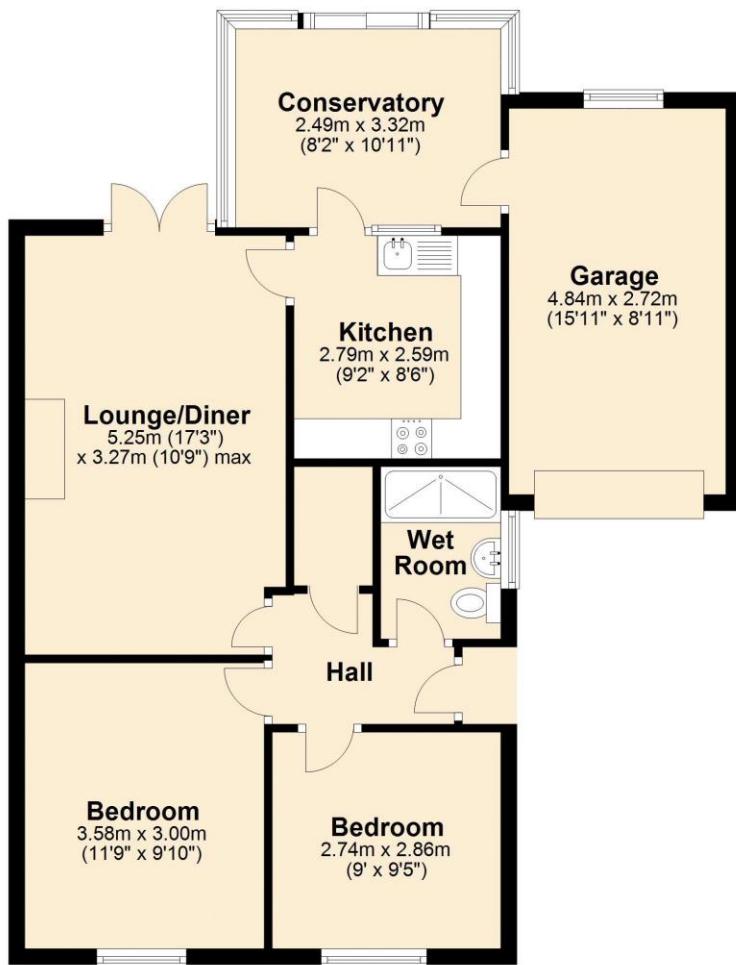
Email: info@fieldsofshifnal.co.uk
4 Broadway, Shifnal, TF11 8AZ



IMPORTANT: we would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. A detailed survey has not been carried out, nor the services, appliances and fittings tested. Room sizes should not be relied upon for furnishing purposes and are approximate. If floor plans are included, they are for guidance only and illustration purposes only and may not be to scale. If there are any important matters likely to affect your decision to buy, please contact us before viewing the property. F710

Ground Floor

Approx. 75.6 sq. metres (813.4 sq. feet)



Total area: approx. 75.6 sq. metres (813.4 sq. feet)

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